



Addendum #04

ADMINISTRATION BUILDING ROOF AND SIDEWALK REPLACEMENT Salem State University – North Campus Salem, MA

MASS. STATE PROJECT NO. SSU-2021-A Contract #1 CAMIS NO. J226800 JONES ARCHITECTURE PROJECT NO. 2011

August 31, 2020

A. INSTRUCTIONS TO PREQUALIFIED TRADE CONTRACTORS

- Bidders shall review <u>ALL</u> contract drawings to determine full scope of work for their respective trades.
- **B. SPECIFICATION CHANGES**
 - Answered in narrative form below. Formal changes to the specifications to be issued with Conforming Set.
- C. DRAWING CHANGES
 - Refer to attached SKAs. Formal drawing changes to be issued with Conforming Set.

D. BIDDER RFIS AND ANSWERS

General

- 1. Q. ARE HARD COPIES OF PLANS AND SPECS AVAILABLE? A. No, the project documents will only be issued electronically.
- Q. ARTICLE 2 OF THE OWNER/CM AGREEMENT NOTES THE PROJECT IS TO BE COMPLETE 100 DAYS FROM THE DATE OF THE NOTICE TO PROCEED. WHAT IS THE INTENDED DATE OF THE NTP?
 A. Expected project start is as soon as possible (Presumably October 2020)
- 3. Q. M001 NOTE * PROVIDES DIRECTION ON WHAT NEEDS TO OCCUR



IF WORK IS BEING CONDUCTED IN THE HEATING SEASON. IN ADDITION TO THE SCHEDULE INFORMATION REQUESTED IN RFI 1, WHAT IS SALEM STATES HEATING SEASON SCHEDULE? A. October 10 – May 15

 Q. ARTICLE 11 OF THE GENERAL CONDITIONS NOTE REQUIREMENTS FOR A CONTRACTOR AND RESIDENT ENGINEER FIELD OFFICE. WILL BOTH OF THESE BE REQUIRED?
 A. The Owner can provide GC field office. Engineer office is not required.

Division 2

- Q. DOES THE ROOF SUB OWN REMOVING CONCRETE CANT ON ROOF C+D? A. Yes
- Q. DOES THE ROOFING SUB OWN KEEPING THE ROOF WATERTIGHT WHILE THE OWNER REMOVES ASBESTOS?
 A. Yes, but asbestos removal is by GC, not by Owner, and should have little impact on water tightness.
 - 3. Q. DOES MECHANICAL SUB OWN REMOVING ALL THE CURBS? A. Yes, mechanical sub-contractor shall remove all equipment curbs.
 - Q. PLEASE REFER TO SPECIFIC DEMOLITION NOTE "AA" ON A004. SHOULD THAT SAY "CONCRETE DECK" RATHER THAN "METAL DECK"? A102 SHOWS A CONCRETE DECK IN THAT AREA.
 A. Yes, demo note "AA" should read: "Remove existing roofing within scope of work down to *concrete metal* deck (VIF)...
 - Q. PLEASE REFER AGAIN TO SPECIFIC DEMOLITION NOTES "A" AND "AA" ON A004. SO THAT WE CAN ACCURATE FIGURE THE REMOVAL COST, IS THE THICKNESS OF THE EXISTING INSULATION KNOWN? CAN YOU CONFIRM THAT THERE IS ONLY ONE ROOF (I.E. NO OLDER ROOF BENEATH THE EPDM SYSTEM SHOWN)?
 A. Max insulation thickness is 4"-5". Presence of an older roofing assembly below the existing roofing assembly has not been detected.

Division 3

1. Q. WHAT IS THE EXTENT OF THE EXTERIOR CONCRETE SLAB/WATERPROOFING WORK? IS IT THE EXTENT OF THE HATCH



SHOWN ON A0.02 OR THE EXTENT OF THE SCOPE OF WORK AREA ON A1.01? A. Scope of work on A101

2. Q. DETAIL 1/A5.12 SEEMS TO INDICATE THE CONCRETE AND REBAR UNDER THE MASONRY WALL IS BY THE MASON. IS THIS THE INTENT OR SHOULD IT BE BY THE CONCRETE SUBCONTRACTOR? A. Concrete and rebar at the seat wall should be by concrete subcontractor.

Division 4

- Q. PLANS SAY MASON OWNS THRU METAL WALL FLASHING, SPECS SAY ROOFER OWNS. WHICH ONE IS CORRECT?
 A. Masonry subcontractor to furnish and install thru-wall flashing and counterflashing
- Q. PLEASE CONFIRM THE ONLY MASONRY TO BE CLEANED IS THE NEW THRU WALL FLASHING AND MASONRY BENCH SEAT. EXISTING MASONRY NOT TO BE CLEANED
 A. Refer to elevations (A200s) and details (A500s). Existing masonry adjacent to new (replaced) masonry sections at roof may require replacement of damaged units, cleaning, etc.
- Q. HOW MANY SQ FEET OF CUTTING AND POINTING IS TO BE CARRIED. NO AREAS ARE SHOWN ON DRAWINGS.
 A. Refer to elevations (A200s) and details (A500s) which describe scope of masonry replacement. Note that not all existing elevations are drawn in the documents. We do not anticipate Pointing to be required, just new masonry and full mortar beds to replace existing.
- Q. HOW MANY SQ FEET OF MASONRY PATCHING IS TO BE CARRIED? NO LOCATIONS SHOWN ON DRAWINGS.
 A. Refer to elevations (A200s) and details (A500s) which describe scope of masonry work. Note that not all existing elevations are drawn in the documents.
- Q. HOW MANY SQ FEET OF RESTORATION ANCHORS IS TO BE CARRIED? NONE SHOWN ON THE DRAWINGS.
 A. Refer to elevations (A200s) and details (A500s) which describe scope of masonry work. Note that not all existing elevations are drawn in the documents.



Division 5

- Q. DETAILS 3 & 4/A5.04 SHOW WT'S AT THE GUARDRAIL DETAILS. THESE ARE ALSO SHOWN ON STRUCTURAL DRAWING S2.01. SHOULD STRUCTURAL OR MISC. METALS FURNISH AND INSTALL THESE? ALSO, WHO IS RESPONSIBLE FOR THE PIPE SLEEVE DOWN? A. WTs shall be by structural steel subcontractor. Pipe sleeves by misc metals subcontractor.
- Q. PLEASE REFER TO S201. CAN A CLARIFICATION BE ISSUED, SHOWING WHICH DIRECTION THE ROOF DECK FLUTES RUN, IN THE AREAS WHICH RECEIVE GUARDRAIL?
 A. Joists for the Dining Hall Roof run North-South thus the roof deck flutes run East-West
- 3. Q. IS THE MISC. METALS SUBCONTRACTOR TO OWN CUTTING THE BOTTOM OF EXISTING LADDERS TO NEW ROOF HEIGHTS INDICATED? A. Yes.
- 4. Q. DWG. A102 COLUMN LINE J/6-7 IS THIS PIECE OF RAIL BY THE MISC. IRON FABRICATOR?A. It appears this question refers to a non-penetrating guardrail which shall be owned by the roofing subcontractor
- Q. WHO OWNS REMOVING AND REINSTALLING EXISTING LADDERS ?
 A. The intent is for ladders to be adjusted in place. If it not feasible to do so, then the Misc metals subcontractor shall own removal and reinstallation of existing ladders.
- Q. WHERE ARE THE SKATE BOARD PLATES LOCATED (SECT 055000 METAL FABRICATIONS)
 A. In the seat wall adjacent to the exterior ramp. Refer to A110 and details on sheet A512.
- 7. Q. SECT 051200 STR. STEEL WHY IS THIS WORK NOT PART OF THE MISC. IRON FABRICATOR?
 A. The items included in this scope of work have been designed by the structural engineer – refer to Structural drawings

Division 7

1. Q. REQUEST FOR ACCEPTANCE OF FIRESTONE PVC AS AN EQUAL TO



THE SPECIFIED PVC MANUFACTURER'S LISTED IN 075400 THERMOPLASTIC MEMBRANE ROOFING A. Manufacturers are not limited to those listed in the spec, therefore Firestone PVC is acceptable as long as it meets the specified performance criteria.

- Q. WHAT TYPE OF ROOF SYSTEM IS THE BASIS OF DESIGN FOR YOUR ADMIN BUILDING ROOF REPLACEMENT?
 A. Refer to drawings, specifications, and addenda.
- Q. DOES ROOF SUB OWN PROTECTION OF THE ROOF FOR THE DURATION OF THE PROJECT OR JUST WHILE HE IS ON THE PROJECT ROOFING?
 A. Just while roofing.
- Q. SPECS SAY MECHANICALLY ATTACH THE INSULATION AND PLANS SAY ADHERED WHICH ONE IS CORRECT?
 A. Insulation shall be fully adhered.
- Q. PLANS SAY ¹/₂" COVERBOARD & ¹/₄" SUBSTRATE. SPECS SAY 5/8" COVERBOARD AND NO SUBSTRATE. WHICH ONE IS CORRECT?
 A. Plans are correct – ¹/₂" coverboard and ¹/₄" substrate where substrate is required.
- Q. 076200-1 1.2 A-1B (formed wall flashing and trim) WHERE DOES THIS OCCUR?
 A. This appears to be redundant. Refer to item C Formed low-slope roof flashing and trim
- Q. WHAT DOES THE EXISTING ROOF CONSIST OF?
 A. Refer to A004 and demo details on A501. Existing membrane is EPDM. Max existing insulation thickness is +/- 4"
- Q. PLEASE REFER TO PAGE 075400-1 PARAGRAPH 1.2/B/1/A. PLEASE CONFIRM THAT THE PLUMBER WILL INSTALL THE DRAIN BOWLS, AND THAT THE ROOFER'S RESPONSIBILITY IS LIMITED TO THE INSTALLATION OF THE CLAMPING RINGS AND STRAINERS. A. Correct
- DOES THE ROOFER OWN FURNISH AND INSTALLING WOOD BLOCKING? DRAWING A5-03 SAYS OWNED BY ROOFER BUT ROOFING SPECS SAY BY OTHERS. WHICH IS CORRECT?
 A. Wood blocking on roof to be by roofing sub-contractor
- 10. Q. IS THE INSULATION R=30 OR AN AVERAGE OR R=30?



- A. Roof insulation shall carry an Average value of R=30
- 11. Q. WHAT IS THE EXTENT OF THE TEMP ROOFING? A. As required to maintain water proofing during construction.
- 12. Q. DOES THE ROOFING SUB OWN NON-PENETRATION ROOF RAILS? A. Yes.
- 13. Q. SPECS SAY VAPOR BARRIER 40 MIL BUT PLANS SAY 31 MIL? A. 40 Mil is correct.
- 14. Q. DOES THE WATERPROOFING SUB OWN THRU METAL FLASHING ON DRAWING 2A-513?

A. Drawing 2A/513 does not exist. If this question refers to the T-ZCC counterflashing along the length of the sidewalk shown in Detail 2, then this flashing shall be furnished and installed by Masonry subcontractor. New sealant by waterproofing subcontractor. Coordinate sealant with all new weep tubes with Mason.

- Q. PLEASE REFER TO PAGE 075400-1 PARAGRAPH 1.2/B/2/A. TYPICALLY, THE HVAC CONTRACTOR WILL INSTALL THEIR OWN CURBS. ROOFERS WILL OCCASIONALLY INSTALL SMALL FAN CURBS, BUT NEVER THE LARGER RTU CURBS. PLEASE CLARIFY WHICH, IF ANY, CURBS THE ROOFER IS TO INSTALL.
 A. For purposes of bidding, assume all new curbs by mechanical subcontractor.
- 16. Q. PLEASE CONFIRM THAT PAGE 075400-7 PARAGRAPH 2.4/B/2 DOES NOT APPLY TO THIS PROJECT. POLYISOCYANURATE IS AVAILABLE IN 20 PSI OR 25 PSI; WHICH IS REQUIRED FOR THIS PROJECT? A. 25 PSI is acceptable.
- 17. Q. IS THERE A SPECIFIC UPLIFT RATING (TYPICALLY FM 1-XX) THAT THE INSTALLED ROOF SYSTEM NEEDS TO MEET? A. This project is not subject to FM-Global standards, however roofing, base

flashings, and component materials shall comply with requirements similar to FM Global 4450:

- 1. Fire/Windstorm Classification: Class 1A-105.
- 2. Hail-Resistance Rating: MH.
- 3. Uplift Pressures: 1-105 (field), 1-150 (perimeter), 1-210 (corner)
- 18. Q. PLEASE REFER TO PAGE 076200-3 PARAGRAPH 2.1/A. FOR ALUMINUM, THIS SPECIFIES BOTH FACTORY 3-COAT KYNAR AND CLEAR ANODIZED FINISHES. ALUMINUM COMPONENTS INCLUDE FASCIA AND COPINGS. ALSO, SEVERAL DETAILS ON A502 CALL FOR A



"SHOP-PAINTED FINISH TO MATCH EAST WING". PLEASE CLARIFY THE CORRECT FINISH FOR THESE ITEMS. IF PAINTED, WE ASSUME THAT THE INTENT IS TO HAVE THE METAL FACTORY-FINISHED, AS OPPOSED TO SHOP-PAINTED. IS THERE A SPECIFIC COLOR THAT WE ARE TO MATCH?

A. Clear anodized finishes are not required. Fascias / copings shall indeed have factory finish. Color to match the fascias of the recently renovated Gordon Theater section of this building. Confirm color during submittal process.

- 19. Q. NOTE 4 ON DRAWING A1.02 AND A1.03 NOTES FOR ANTENNAS AND ACCESSORIES TO BE REMOVED AND REINSTALLED. IS THE ELECTRICIAN PERFORMING THIS WORK AS WE DO NOT SEE IT NOTED ON THE ELECTRICAL DRAWINGS? A. This note is not pertinent to this project.
- 20. Q. NOTE 7 DRAWING A1.02 AND A1.03 INDICATES NEW RUBBER PIPE SUPPORTS FOR PIPING/CONDUIT BUT WE DO NOT SEE THESE TAGGED ANYWHERE. WHAT IS THE QUANTITY FOR BIDDING PURPOSES?
 - A. Refer to note 7 on E1.02
- 21. Q. ELEVATIONS (A201 / A202) INDICATE A NEW WALL SCONCE BY ELECTRICIAN, BUT WE DO NOT SEE THESE ON THE ELECTRICAL PLANS OR LIGHTING SCHEDULE. PLEASE ADVISE.
 A. Exterior fixtures are denoted as W2 and W3 on E000, E102, and E103.
- 22. DETAIL 7/A5.01 NOTES TO CUT OUT THE MEMBRANE AND REMOVE AND REPLACE THE ALUMINUM CAP AS REQUIRED. DETAIL 4 NOTES THE EXISTING ALUMINUM CAP IS TO REMAIN AND TO TUCK THE NEW MEMBRANE UNDER THE EXISTING FLASHING. IF REMOVAL AND REPLACEMENT IS REQUIRED, WHAT IS THE QUANTITY? A. Refer to attachment SKA-002 for revised details
- 23. Q. DETAIL 1/A5.01 NOTES TO ENSURE THE NEW WATERPROOFING IS COMPATIBLE WITH THE EXISTING. WHAT IS THE EXISTING MATERIAL?A. Existing condition is unknown and the detail is a "best guess."
- 24. Q. DETAIL 1/A5.01 APPEARS TO SHOW A LAYER OF WATERPROOFING UNDERNEATH THE GROUT IS THIS THE INTENT?A. The intent is to leave existing flashing in place and grout up to the underside of new flashing/weep line



- 25. Q. IS THE NOTE "BY ROOFING SUBCONTRACTOR, TYPICAL" ON DRAWINGS A5.01 & A5.02 INTENDED TO INDICATE THEY ARE RESPONSIBLE FOR ALL WORK ASSOCIATED WITH/ATTACHED TO THE ROOFING? BLOCKING? CFMF? PLYWOOD SOFFIT? A. Correct
- 26. Q. WE DO NOT SEE THE PLYWOOD SOFFIT MATERIAL SPECIFIED ANYWHERE. PLEASE ADVISE. IS THIS TO BE PAINTED?A. Detail 2/A502 indicates "Bottom cap / hook strip to cover plywood soffit at dining roof edge, color to match fascia."
- 27. Q. DOES THE ROOFER OWN THE SPRAY FOAM AROUND PENETRATIONS (I.E. - DETAILS 2 & 3/A5.03)? WHAT ABOUT THE NON-SHRINK GROUT AND FIBERGLASS INSULATION (I.E. - DETAIL 4/A5.03)? A. Yes, by roofing subcontractor.
- 28. Q. WE CANNOT FIND DETAIL 8/A5.03 ON THE DRAWINGS WHERE DOES THIS DETAIL OCCUR? WE ALSO DO NOT FIND IT ON THE MECHANICAL - ARE THEY TO REPLACE THE DUCT INSULATION? A. This detail appears to have been carried over from another project and is not necessarily relevant to this project.
- 29. Q. SHOULD SPECIFICATIONS 077100 & 077200 BE PART OF FSB 070002? A. Yes
- 30. Q. SHOULD SPECIFICATIONS 079201 AND 079500 BE PART OF FSB 070001? A. Yes
- 31. Q. WHAT IS THE SCOPE OF WORK FOR SECTION 079200 JOINT SEALANTS AND IS IT PART OF SECTION 070001 WP, DP & CAULKING? SECTION 079201 EXTERIOR JOINT SEALANTS IS COVERED BY THE GC A. Yes, 079200 is noted as part of Section 070001. Section 079201 Exterior Joint Sealants shall also be included in Section 070001.
- 32. Q. 2/A5.12 CALLS FOR PITCHED CEMENTITIOUS THIN COAT 1/8" / 1'0" WHAT TRADE IS THIS UNDER AND WHAT PRODUCT IS TO BE USED? A. Work by GC (Concrete). Basis of design Quikrete Sand/Topping Mix or Equal.
- 33. Q. DRAWING A512 DETAIL #1 AND #2, PLEASE CONFIRM SECTION 072100 IS RESPONSIBLE FOR THE HIGH DENSITY STYRENE INSULATION THAT IS GREATER THAN 1" WHICH IS OWN BY FILE SUB BID WATERPROOFING.



A. Correct. Insulation related to site work by Waterproofing subcontractor.

Division 22

 Q. P2XX - THE PLUMBING DRAWINGS SHOW PIPES GOING THROUGH EXISTING CHASES, WHICH IMPLIES THOSE WILL NEED TO BE DEMO'D/REBUILT AND PAINTED. WHAT IS THE CONSTRUCTION OF THE EXISTING CHASES AND IS THIS WHAT SHOULD BE REBUILT? A. The intent is that the limit of work is outside the chase walls. New rain leaders shall be connected to existing piping at a logical transition that does not impact chase walls. However, demo and patch any drywall required for roof drain installation by GC / drywall subcontractor. Also see General Note #11 / A102 Replace all existing roof drains and conductors 25 ft downstream or to nearest offset if closer than 25 ft.

Division 23

- Q. PLEASE REFER TO PAGE 231400-4 PARAGRAPH 3.5/E. THIS ASSIGNS THE FLASHING OF ROOFTOP CURBS TO THE HVAC SUB. WE ARE ASSUMING THAT THIS IS IN ERROR, AND THE ROOFER ACTUALLY OWNS THESE FLASHINGS. PLEASE CLARIFY.
 A. Correct, Mechanical subcontractor sets units and provides curbs if prefabricated, as well as any ductwork. All other work by roofing subcontractor (flashing roofing tie-in, etc) or electrical and plumbing required for re-connection of unit.
- Q. M0.02 NOTES THAT TYPE 3 EQUIPMENT REMAINS IN PLACE ON THE ROOF WHILE A1.02 INDICATES ALL EQUIPMENT IS GETTING REMOVED AND REPLACED. WHICH DRAWING PREVAILS?
 A. M002 prevails, Type 3 equipment, which is located on Roof "A" (Administration Building Roof) shall not be temporarily removed, only temporarily disconnected as required for re-roofing as noted on M002 and in spec Appendix B. M002 shall also prevail for equipment location #13. The boiler flue shall not be removed.

Division 26

1. Q. DETAIL 1/A5.01 NOTES TO RELOCATE EXISTING ELECTRICAL CONDUITS AS SHOWN ON THE ELECTRICAL DRAWINGS. WE DON'T SEE THIS WORK INDICATED ON THE ELECTRICAL DRAWINGS. PLEASE ADVISE.



A. Refer to Notes 6 & 10 on E103

Other

1. Q. DETAIL 2/A5.10 NOTES NEW PARKING SIGNS. WE DO NOT SEE A LAYOUT/QUANTITY OR SPECIFICATION FOR THESE. PLEASE PROVIDE.

A. Assume no new parking signs. Seven (7) existing ADA parking signs shall be temporarily removed and re-installed. Verify quantity in field.

Attachments:

- Pre-Bid Conference Attendance Sheet
- Revised Drawings
 - SKA-001 Sidewalk Flashing Detail
 - SKA-002 Skylight Curb Details
- New Drawings
 - SKA-003 Base Flashing Detail at Block Wall

WALKTHROUGH ATTENDANCE SHEET

PROJECT: SSU ADMINISTRATION BUILDING - ROOF AND SIDEWALK REPLACEMENT

DATE & TIME: <u>8/20/2020 2PM</u>

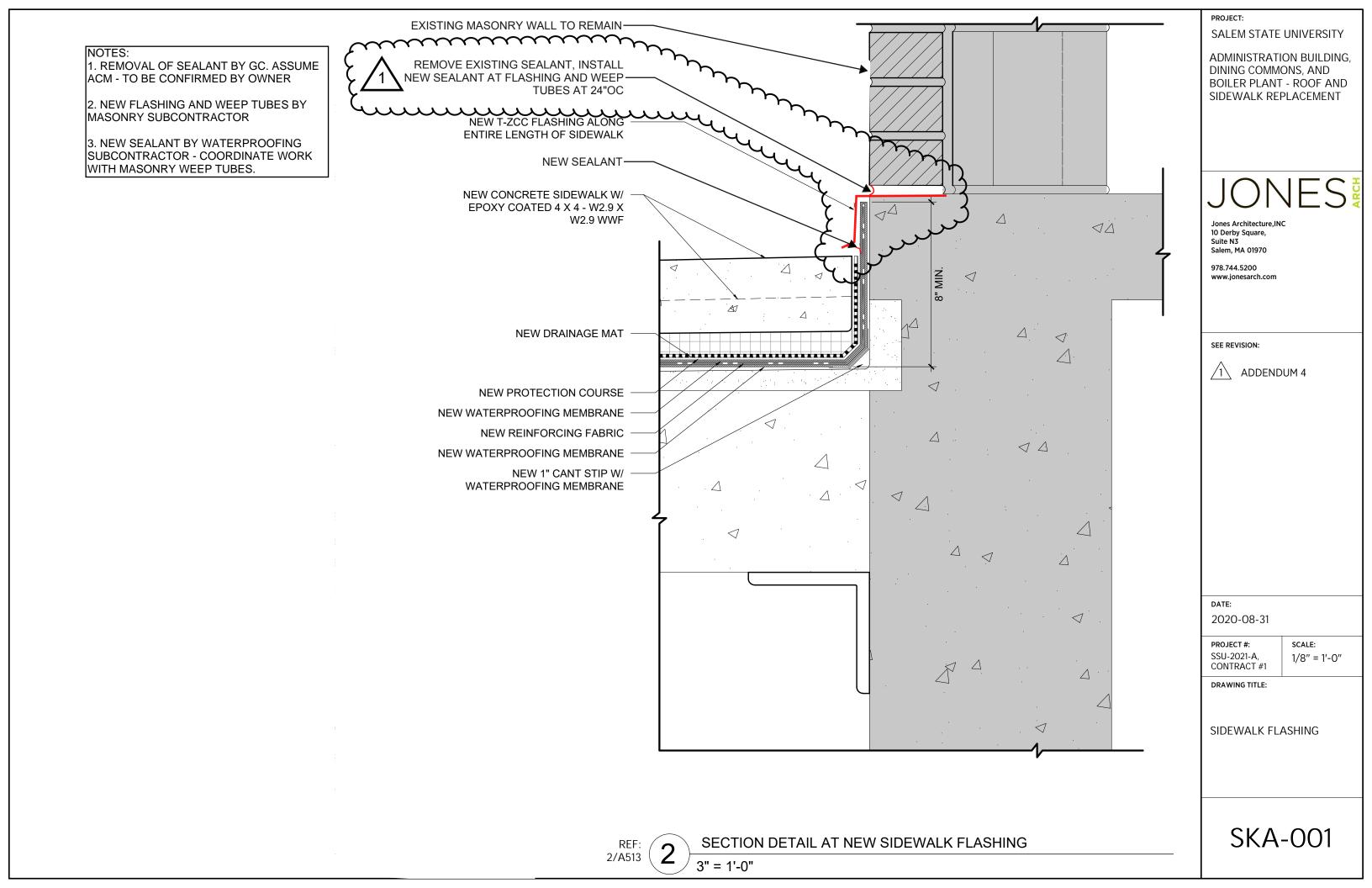
	PRINTED NAME	COMPANY	CONTACT INFO
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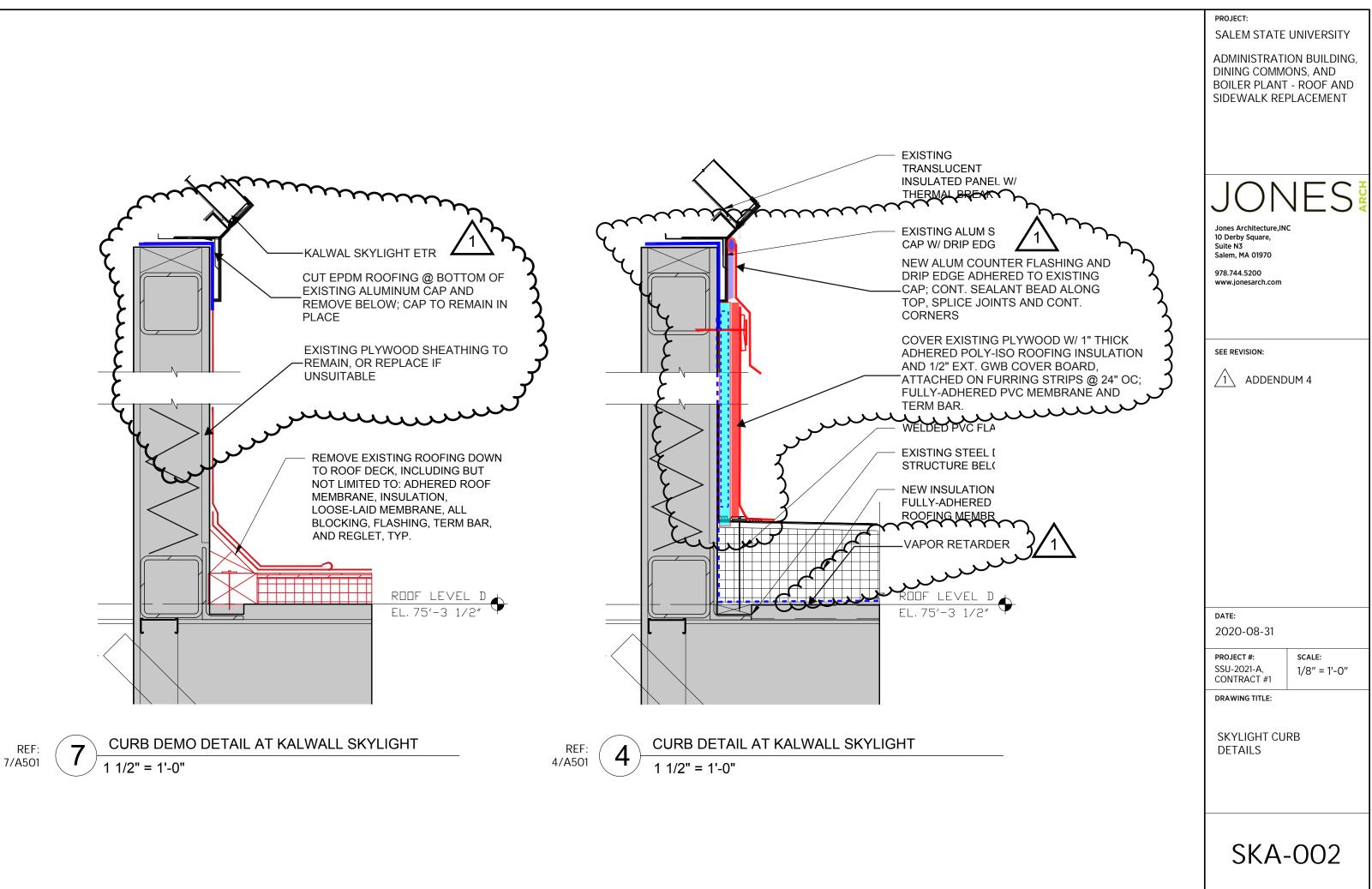
WALKTHROUGH ATTENDANCE SHEET

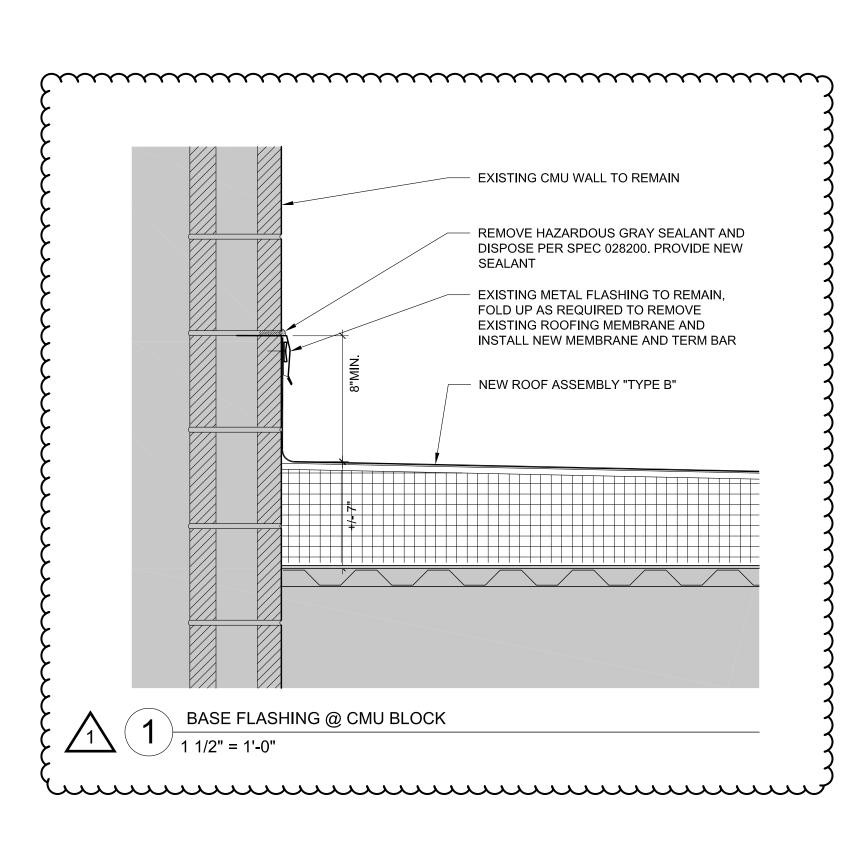
PROJECT: SSU ADMINISTRATION BUILDING - ROOF AND SIDEWALK REPLACEMENT

DATE & TIME: 8/20/2020 2PM

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PROJECT:				
SALEM STATE UNIVERSITY				
ADMINISTRATION BUILDING, DINING COMMONS, AND BOILER PLANT - ROOF AND SIDEWALK REPLACEMENT				
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978.744.5200 www.jonesarch.com				
SEE REVISION:				
DATE:	_			
2020-08-31				
PROJECT #: SCALE: SSU-2021-A, 1/8" = 1'-0" CONTRACT #1 1/8" = 1'-0"				
DRAWING TITLE:				
BASE FLASHING @ CMU				
SKA-003				